

**REFERENCE:** P/23/512/LIS

**APPLICANT:** Bridgend County Borough Council – Regeneration, Civic Offices, Angel Street, Bridgend, CF31 4WB

**LOCATION:** **Grand Pavilion Esplanade Porthcawl CF36 3YW**

**PROPOSAL:** Listed Building Consent for the conservation and repair of the building inc. refurbishment of the clock tower, stained glass windows and new metal roof covering to the dome; new extensions to provide passenger lift, an auditorium, gallery, wc's and supporting back of house areas; new glazed roof top pavilion and assoc. improvements and renovations to the existing building

**RECEIVED:** 9 August 2023

**DEVELOPMENT CONTROL SITE INSPECTION UNDERTAKEN:** 03/04/2024

### **APPLICATION DESCRIPTION**

Listed Building Consent is sought for the undertaking of an extensive refurbishment project to re-develop, extend and repair the Porthcawl Grand Pavilion. The Listed Building Application effectively accompanies the full planning application that has been submitted to redevelop the Grade II Listed Building, P/23/511/BCB refers.

The Grand Pavilion is a prominent, much-loved building within the community of Porthcawl and wider region embodying great cultural and social heritage. It is a Grade II Listed Building set within Porthcawl Conservation Area, a significant heritage asset and a nationally important example of Art Deco, sea-front architecture.



**Figure 1 – The Grand Pavilion**

The building, opened in 1932, forms a focal point of the town's sea front activity and sits at the heart of the community from a social and cultural viewpoint. However, the Grand Pavilion is at a tipping point, following many years of piecemeal maintenance and patch-repairs the building is now deteriorating and without comprehensive intervention is at risk of further decline. Exacerbated by the austerity of the pandemic, when the Grand Pavilion was closed for over 12 months, its long-term disuse highlights the importance of this major redevelopment proposal in forging a sustainable future that offsets the continued maintenance liability associated with such an historic ferro-crete structure in a seafront location. The building is in need of significant repair and refurbishment to secure its pivotal position within this coastal community.

Bridgend County Borough Council (owners of the building) and Awen Cultural Trust (partner & leaseholder), have demonstrated a long-term commitment to this redevelopment proposal commissioning multi-disciplinary feasibility studies led by

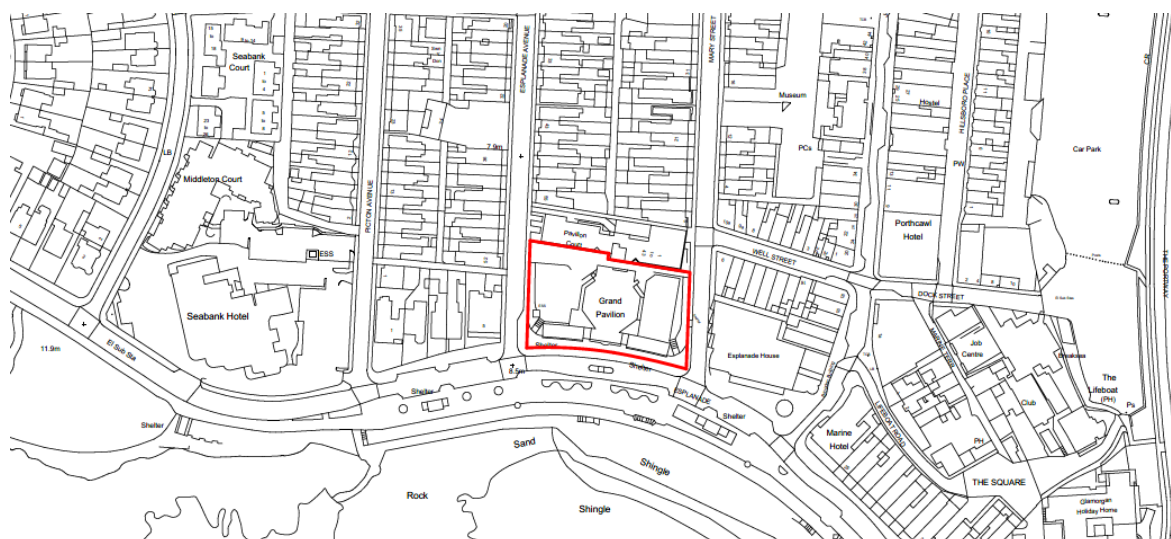
specialist conservation architects, Purcell, in 2016, 2019 and 2021, responding to changes in the local and global climate and economy.

The three main objectives sought for the proposed redevelopment scheme include:

- Effecting the beneficial and essential repair of the building to safeguard its future without detriment to its appearance, character and heritage significance.
- Enhancing the existing facilities to enable the Grand Pavilion to perform its original function as a performance venue more efficiently.
- The provision of additional facilities to enable the Pavilion to serve the contemporary needs of its community.

In addition, collaborative workshops with Awen Cultural Trust, design teams and various other bodies seeking to establish the range of operational constraints and opportunities presented by the building, have been undertaken. Furthermore, numerous pre-application discussions and meetings have been held in respect of the redevelopment with public consultations and an extensive pre-application consultation being undertaken. The scheme has also been amended over the duration of the planning application and Listed Building Application process.

Bridgend County Borough Council, in partnership with Awen Cultural Trust has also successfully applied for various funding for the redevelopment proposals.



**Figure 2 – Site Location Plan**

The scheme has now evolved to a full planning application submission and the associated Listed Building Consent submission that, overall, aim to rejuvenate the Grand Pavilion through sensitive conservation repair and alteration, and broaden the provision within the building through the construction of a new studio theatre. In addition, there would be new community spaces, improved accessibility, and new rooftop pavilions (extension), accessing a terrace on a new flat roof of the wings. The doomed roof would be sensitively restored, new insulation applied, and the original weathervane would be reinstated.

The redevelopment would improve the community and vibrancy within Porthcawl, contributing towards the social and cultural wellbeing of local people and visitors, whilst positively promoting the whole vitality and vibrancy of the seaside resort and wider locality.

More specifically, and in addition to the fabric and decorative repair of the existing building, the works and alterations that are fully detailed in the Heritage Impact Statement and Design and Access Statement that support the submissions, are detailed below:

## **Lower Ground Floor**

The Grand Pavilion sits on a site that retains public highways to the south, east and west, with vehicular access into the car park from the north-west (off Esplanade Avenue). As such, the lower ground floor is partially retaining and lies below the level of the surrounding streets. It is proposed to re-configure the existing western car park to allow for accessible parking spaces, delivery vehicles and bicycle stands whilst also providing a minimum of 2no. EV charging points. Elements of landscaping would be introduced around the car parking areas to soften its appearance.

A rear extension to the northwest corner of the building is proposed to aid back of house loading and form a more useable access to the dressing/changing rooms and respond to the existing challenges of loading equipment and scenery up to stage level. Within this new extension would be a large loading lift, platform lift and stair core to allow the transporting of equipment direct to the main stage. The extension would be slightly offset from the very rear building line of the existing, main back elevation of the building, measuring 5.9m in width (maximum) with a two-storey design in effect, extending to a height of approximately 7.5m from ground level. It would incorporate largely bronze clad elevations with a small projection at first floor level to its western side to accommodate the stair core.

The central multi-use space (below the main auditorium) is to be stripped of its dated late C20th finishes to reveal the original concrete structure beneath and to maximise available head height. The space will be re-designed to be highly flexible and robust facilitating community events, exhibitions, or workshops, whilst a robust floor and wall finish would allow the space to double up as overflow dressing provision or a theatre workshop space when required. A bar area with a seating area and associated storage provision would be created to the eastern side of the multi-use space.

To the western side of the multi-use space a 'changing places' facility that would be open to the public, when the main building is open, would be created. Positioned to be near the main lift and entrance doors from the accessible parking spaces, this facility would contain height adjustable, adult size changing bench, ceiling track hoist system, toilet, height adjustable washbasin and ancillary equipment such as privacy screen, waste disposal bin, paper roll dispenser etc. The facility would be for public use and would be advertised through its registration with the Changing Places charity.

A new studio theatre with an anticipated capacity of 156 seats is proposed to the eastern side of the building, extending to the first floor of the building and providing a smaller, more intimate performance space to the main, central auditorium. The new studio theatre would be created within a large proposed extension to the eastern side of the building that would extend from the existing wing of the building, backwards by approximately 24m and consume the full width of the plot up to the highway of Mary Street (approximately 12m being retained from the main mass of the new eastern extension and the Pavilion Court building that abuts the immediate north, rear of the Application site). The studio floor is to be sprung timber which combined with a retractable seating unit would provide great flexibility between rehearsals and flat floor events, in combination with cinema, live comedy and other seated events.

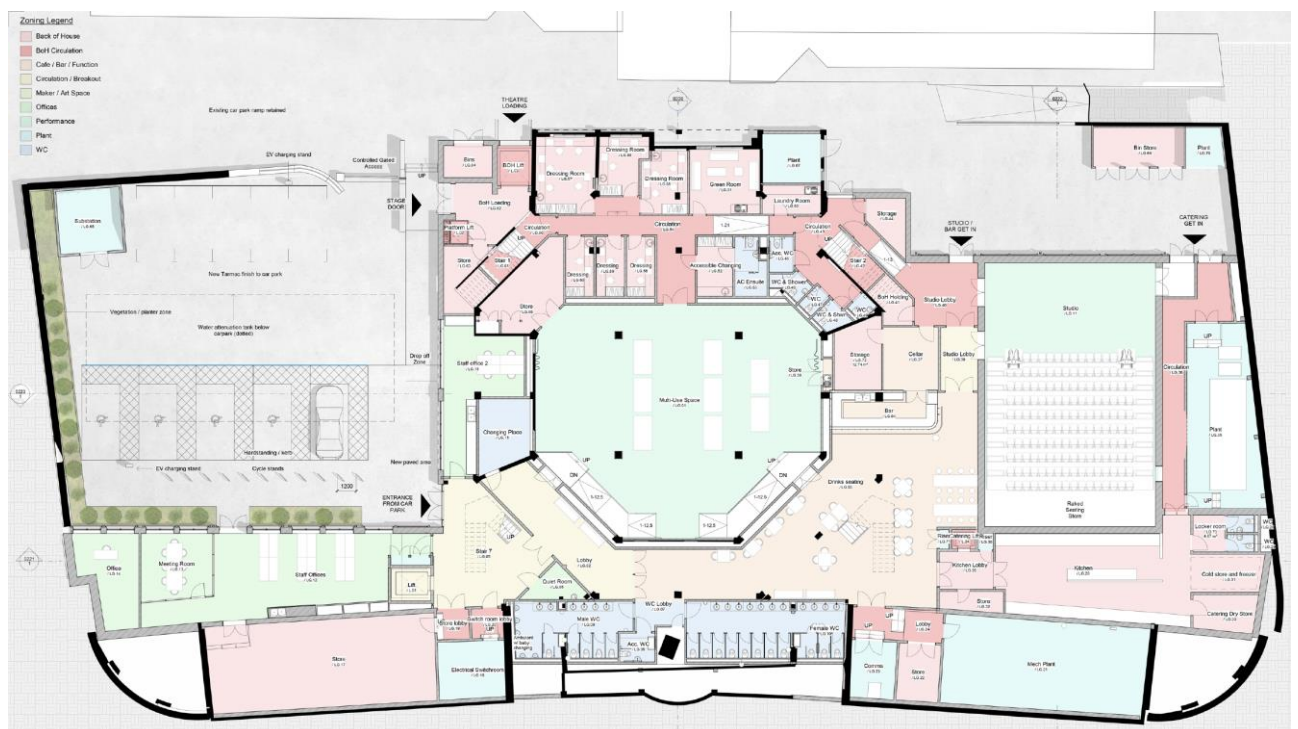
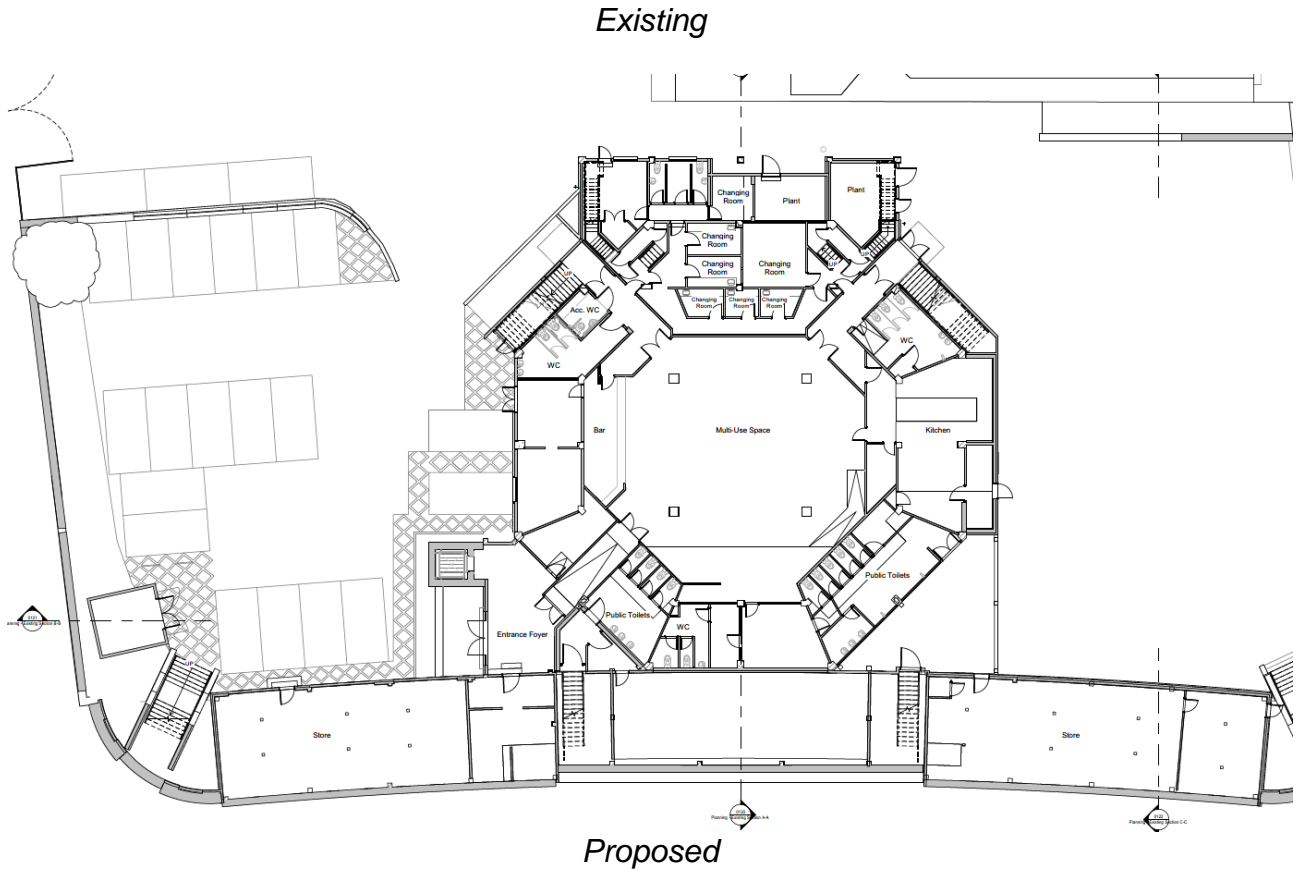
The creation of a generous commercial kitchen located within the extended eastern aspect of the building to meet the likely demands of a significantly redeveloped building.

The erection of a new extension behind the western wing of the building to create a flexible open plan staff office with meeting room. The existing western wing of the building generally being extended by approximately 5.8m to its rear aspect. Glazing would largely be created within the north facing elevation of the extended western wing of the building at

lower ground floor level with concrete panelling above.

Further provision of male and female toilets towards the front/centre of the building.

The creation of a more open and generous foyer/lobby creating a link to the east and west of the building, fundamentally connecting two new stair cores that rise through all levels. Accessed off the proposed foyer is a passenger lift, the bar facilities, the redeveloped 'multi-use' space and the new kitchen area.



**Figure 3 – Existing & Proposed Lower Ground Floor Layout**

## **Ground Floor**

The ground floor level is accessed directly off the Esplanade at street level, which forms the primary access to the building.

In response to the existing somewhat confusing entrance sequence the proposals seek to reinstate the central, original entrance as the primary entranceway, accessed by all from a new integrated ramp from pavement level. The two triangular stair cores rise to ground floor from below, with existing partitions and obstructions removed to provide a more generous, open foyer and “milling” space as expected of a performance venue of such scale.

To the western arm of the extended building, a self-contained multi-use conference space is proposed which would provide flexible provision for community events, exhibitions and workshops whilst also allowing for functions with spectacular seafront views. Designed with its own bar, wc's and storage, the space could operate independently of other spaces, whilst opening out for capacity crowds to provide overflow milling, bar and wc provision.

The enhancement of the existing cafe to the east of the building that would continue to benefit from striking south facing sea views and through a series of door openings the offer can extend onto the pavement of the Esplanade.

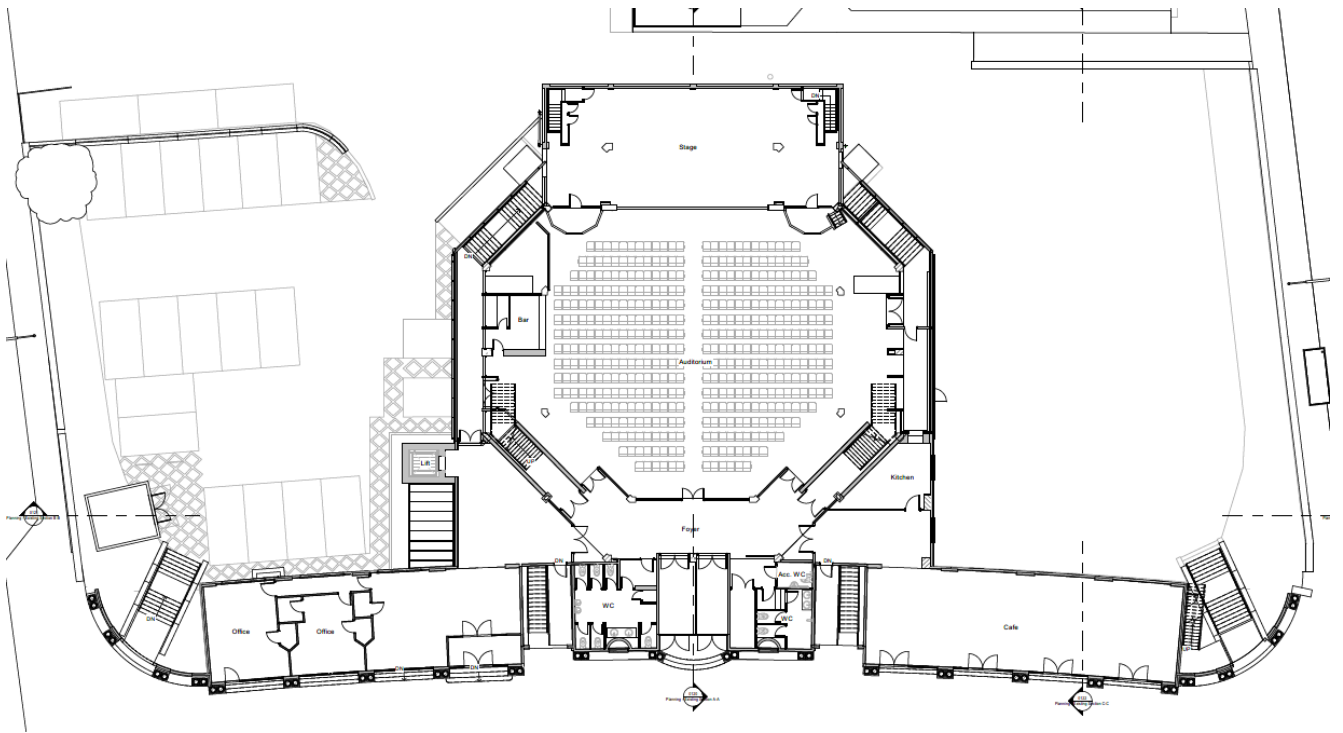
The new studio theatre to the east of the main auditorium would be accessible from ground level via a fixed rear gallery. The gallery provides a technical operating position as well as wheelchair spaces with companion seats, allowing wheelchair users to enjoy all events in the space with easy access to the foyer, wc's and changing places.

The main wc provision would be located directly to the east of the main auditorium.

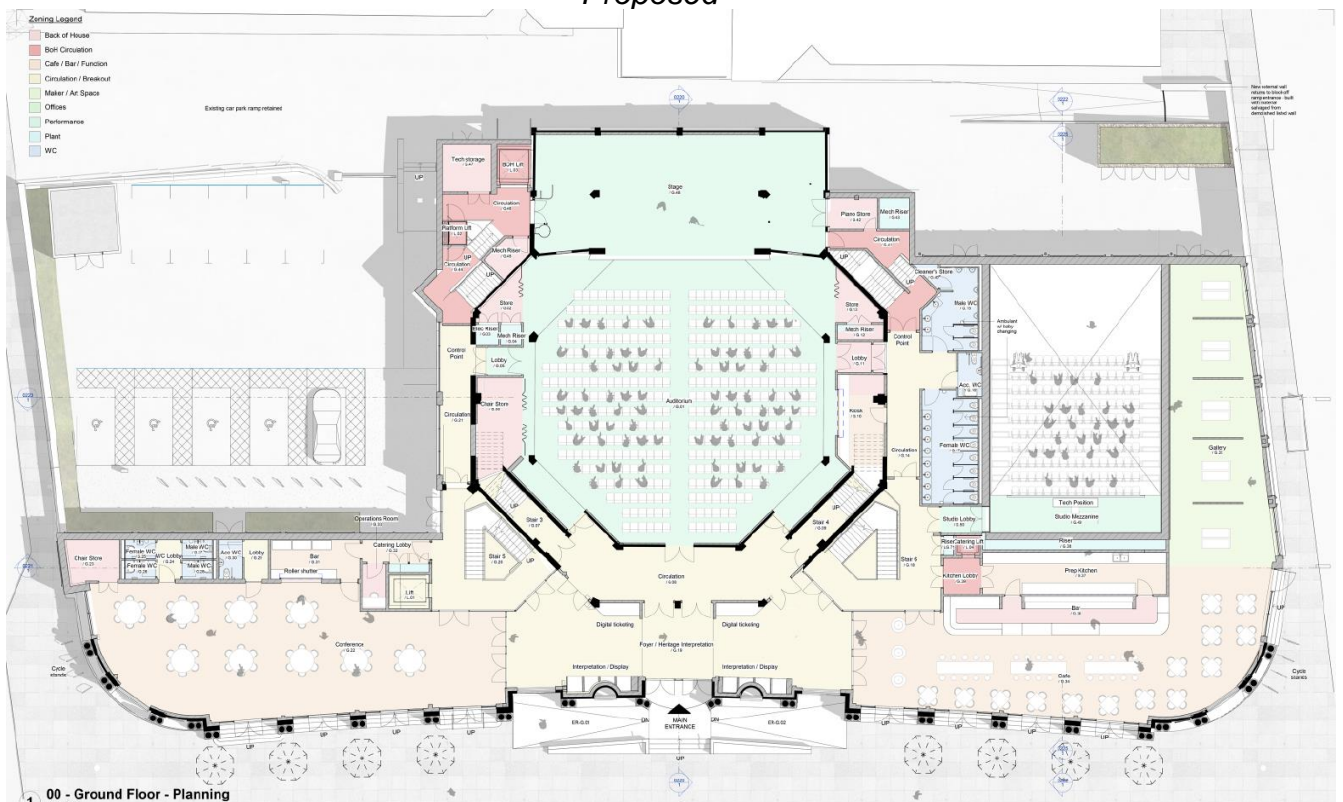
The provision of flexible gallery space/studios to the very east of the newly extended building to align with the Grand Pavilion's identity of arts and culture, with a 'shop front' style window towards the very front and rear of the gallery within the Mary Street facade. The studio provision would allow for resident artists or flexible lettable studio space with the gallery intended to display the works of local artists and makers.

The main auditorium is largely original, 1932 construction with very intact Art Deco features. The redevelopment looks to make minimal intervention only where necessary in this space, to improve operations or accessibility. To the east and west of the auditorium, a built-in server kiosk, general storage and chair storage allows for servicing a range of events. On completion of the works the main auditorium would have an anticipated capacity of approximately 650 seats.

## Existing



## Proposed



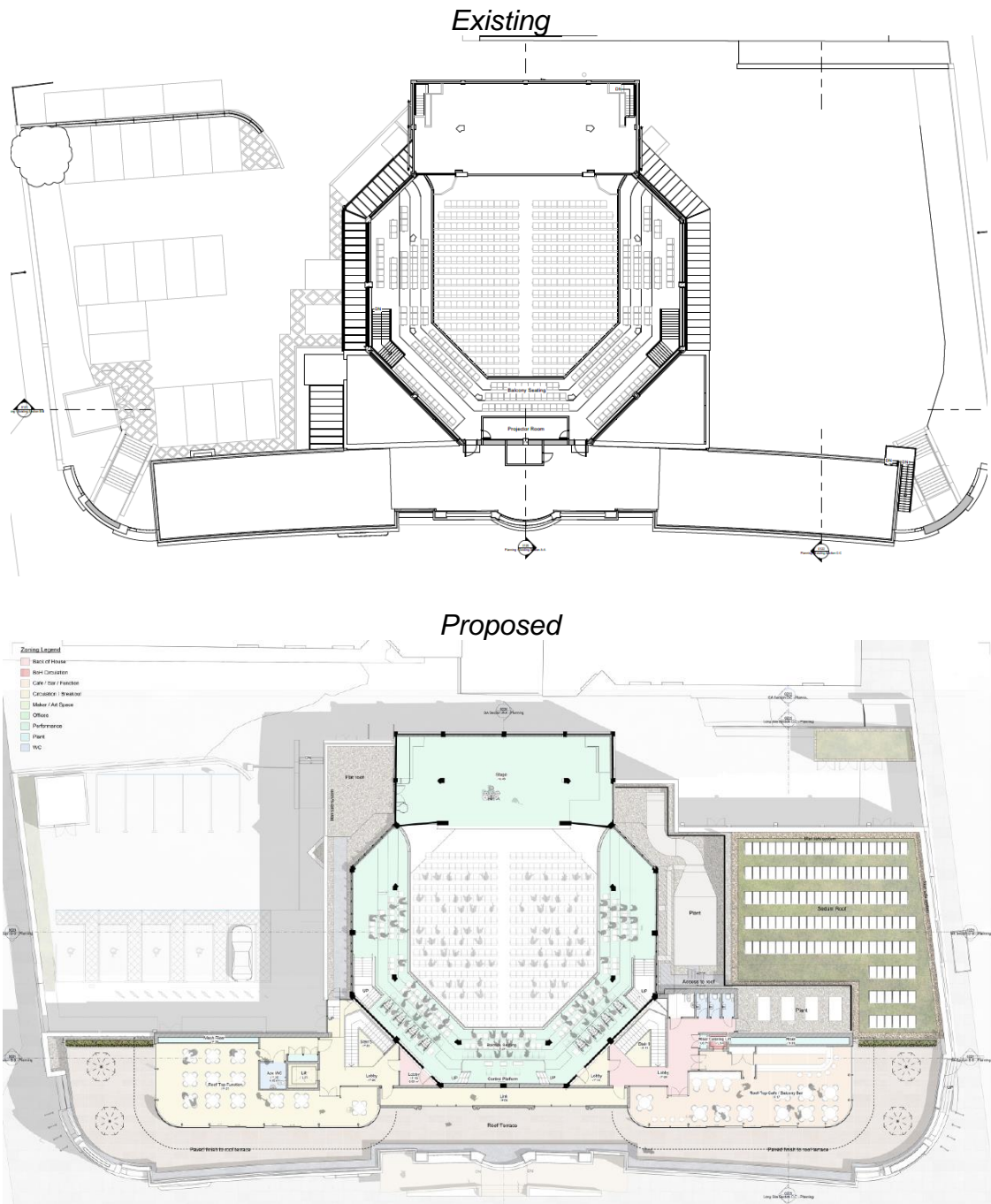
**Figure 4 - Existing & Proposed Ground Floor Layout**

### First Floor

At first floor level it is proposed to create a new extension forming a fully accessible rooftop pavilion in effect. The new, predominantly glazed feature (facing front) would benefit from spectacular south facing, elevated views over the Bristol Channel, with a rooftop cafe and rooftop function space being created (with a bar area, and unisex/accessible wc's also being created), and breaking out through a highly glazed facade onto a rooftop terrace. A central, structural link to the front of the building would connect the east and west wing. Balcony audiences would effectively now be able to remain at balcony level during performances and relieve pressure on the bars and wc provision at the lower levels – the

passenger lifts allowing the auditorium balcony to become fully accessible for the first time, providing wheelchair spaces with companion seats to a remodelled rear row.

The stained-glass windows around the auditorium at balcony level are to be repaired and reinstated into the space, providing natural light for appropriate events and discrete blackout systems when necessary.



**Figure 5 – Existing & Proposed First Floor Layout**

### Roof Level

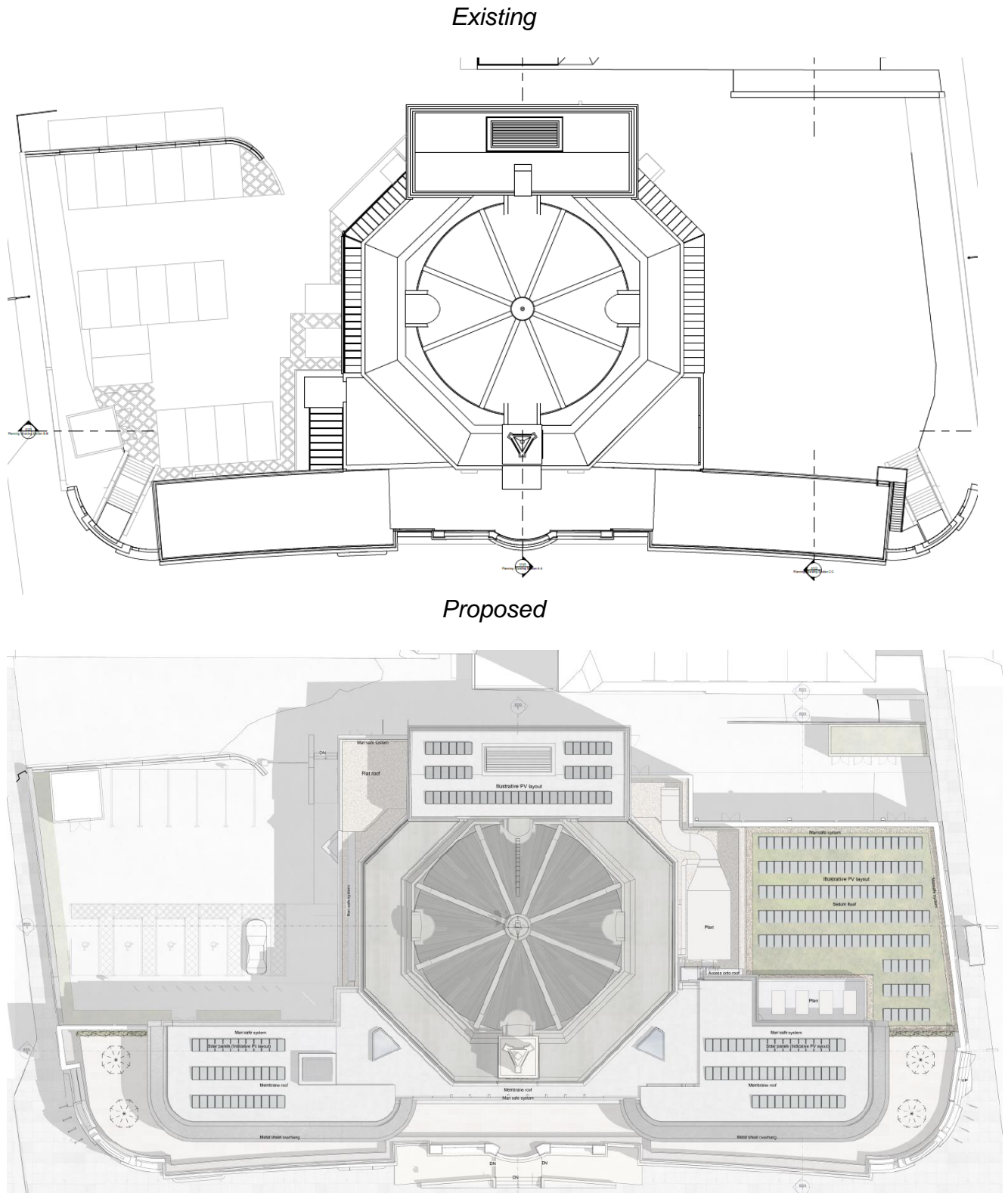
A green roof is proposed to the majority of the eastern extension, primarily above the new studio theatre, providing visual amenity benefit to onlooking residents and attenuation as part of a sustainable drainage strategy. The new roofs over the eastern extension are also carefully designed to conceal and acoustically shield rooftop plant in a recessed plant well, between the auditorium and the new studio space. Roof solar panels would also be introduced to the new flat roofed areas.

The existing concrete dome is exposed to the harsh seafront climate with a

failing membrane cover. The dome presents a considerable “cold bridge” and, during capacity events, hot air rising and meeting the underside of the cold dome is causing concerns over condensation and damage to original finishes. To protect the existing concrete and combat these issues, an insulated ribbed metal finished over-roof is proposed.

General repair and refurbishment of the clock tower.

The roofs of the new rooftop pavilion extensions are proposed as metal coverings with flush fittings and also solar panels to again benefit from the site’s due south orientation.



**Figure 6 – Existing and Proposed Roof Layout**



## Elevation Changes and Details

The highly-significant Art Deco elevations of the original, 1932 ferro-crete Grand Pavilion are to be retained, repaired and re-decorated in accordance with original design intent. Existing doors, screens and windows within these historic elevations are to be replaced with new, historically appropriate profiles.

As detailed, the existing dome would receive an insulated metal covering in a ribbed configuration, retaining the hierarchy of the principal ribs that form the segmentation of the dome, with the original galleon weathervane refurbished and reinstated to its apex.

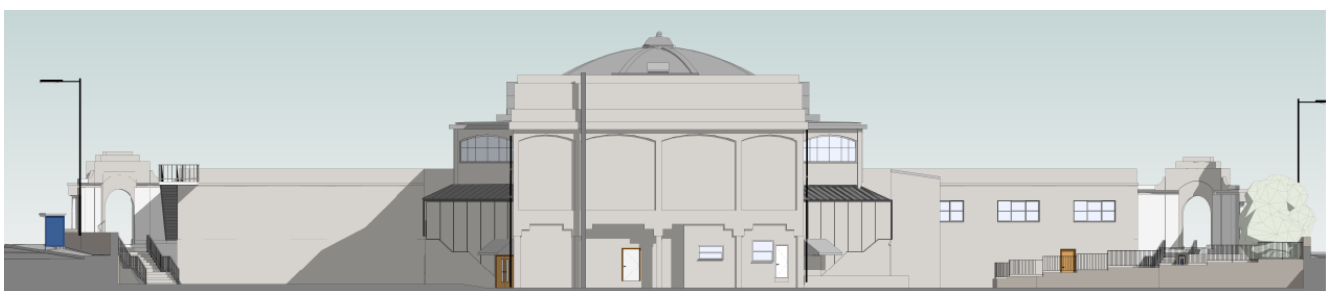
To the south (front), the set-back rooftop pavilions are to be read above the Art Deco principal facade beneath. The new rooftop pavilions are highly glazed, with a principal structural grid creating bays that reference the proportions of the Art Deco bays beneath. A structural link connects both pavilions beneath the clocktower, with the roof profile set below the eaves of the central dome, intended to retain its visual hierarchy and formal symmetry. A continuous roof overhang to the pavilions would provide solar shading.

To the east, the new elevation is separated from the historic building by a glazed bay, with pigmented pre-cast concrete bays including a shopfront style window for the ground floor gallery and studio areas, create a new facade along Mary Street. The existing side stone wall to the east of the building would be removed, although reused to define the very rear, remaining eastern boundary of the site.

To the west, the relatively modest back of house extension to the north-west of the building would be clad in bronze coloured metal, with a structural connection to the largely glazed western walkway and extended western wing.

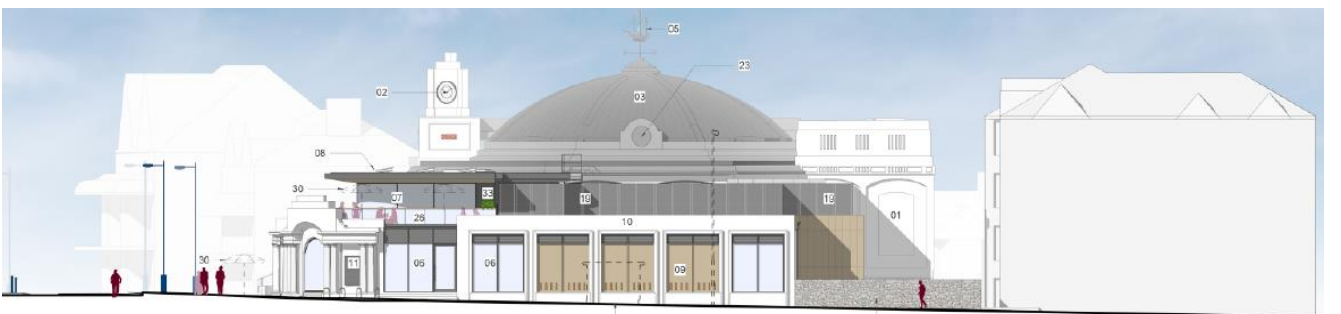
To the north, the redevelopment is directly overlooked by residents in an adjacent apartment block. Therefore, to enhance the visual amenity, green roofs over the extended spaces are combined with pre-cast concrete panels and engraved screens/displays designed to display artwork and stories of the building and the town. The pre-cast concrete elements are complimented with bronze panelling where the extension connects back to the main central building, providing a visual separation.

### *Existing Elevations*





*Proposed Elevations*





**Figure 7 – Existing & Proposed Elevations of the Building**

Information submitted in support of the Application highlights the approximate time scale for the development works. It is anticipated that full construction works would start towards the end of November 2024, with practical completion by 24 July 2026, opening to the public in mid - October 2026. Certain small scale enabling works, including opening up works and soft strip are anticipated to begin onsite at the end of May 2024.

### **SITE DESCRIPTION**

The Grand Pavilion is located within the built-up area of Porthcawl. Situated prominently on the sea-front Esplanade and within Porthcawl Conservation Area the building is orientated roughly on a north south axis with its front, principal south elevation benefiting from direct views across the Bristol Channel.

Directly to the front of the building is a broad pavement and on the opposite side of the highway, is a relatively wide sea-front promenade. Positioned to the western side of the Application site is Esplanade Avenue a traditional residential street of gabled Victorian houses. The buildings existing car park is accessed from Esplanade Avenue via a sloping access ramp on the site's western side. There is a traditional stone wall defining the western boundary of the site, that pre-dates the construction of the Pavilion in 1931/32. The eastern side of the building is adjoined by Mary Street, with a relatively modern development of shops and apartments known as 'Esplanade House' situated beyond which is the former site of the Esplanade Hotel. There is also a stone boundary wall along the eastern side of the site that would need to be demolished as part of the proposal. The scheme would also result in the removal of a bus shelter on Mary Street and the removal of a small tree in the northeastern corner of the site. The rear of the site, to the north, is immediately abutted by a four-storey block of flats known as 'Pavilion Court'.

The Application building itself is a Grade II Listed Building, recognised as an important sea front building retaining much of its original character and reflecting Porthcawl's development as a major South Wales sea-side resort after the closure of the docks in 1906; also for its importance in its use of ferrous concrete. The building is characterised by its graceful curving form, elegant central roof dome, crisp, moulded details and rendered elevations.

The building whilst showing obvious signs of decay and decline serves as a relatively rare example of a seaside entertainment building dating from 1932 and despite minor changes and alterations remains a fine and substantially intact example of sea-front architecture in Wales.



**Figure 8 – Photographs of the application Building**

In addition to the submitted plans and visualisations, the Application is supported by the following documentation (as submitted for the accompanying full planning application, P/23/511/FUL refers):

- Design and Access Statement
- Heritage Impact Statement
- Feasibility Reports
- Baseline Noise Survey Report
- Access Statement
- Transport Statement
- Travel Plan
- Pre-Application Consultation Report (PAC)
- Preliminary Roost Assessment & Bat Emergence Survey

## **RELEVANT PLANNING HISTORY**

P/23/511/FUL - Conservation and repair of the building inc. refurbishment of the clock tower, stained glass windows and new metal roof covering to the dome; new extensions to provide passenger lift, an auditorium, gallery, wc's and supporting back of house areas; new glazed roof top pavilion and assoc. improvements and renovations to the existing building – Under Consideration

P/17/1053/LIS - Internal redecoration of building – Granted 05/02/2018

P/12/798/LIS - Install fresh air inlets at ground & 1st floor level including 18No. aluminium grilles – Granted 11/02/2013

P/09/977/LIS - Construction of new entrance steps and disabled ramp on front elevation of existing building – Refused 25/03/2010

P/07/617/BCB - Internal & external alterations for construction of lift shaft to rear – Granted 19/09/2007

P/07/614/LIS - Internal & external alterations and extensions external lift shaft to rear (LB consent) – Granted 07/02/2008

P/05/782/LIS - Addition of a cat ladder from the upper roof to the lower roof to allow a permanent fire escape – Withdrawn 04/04/2006

P/97/917/BCB - Disabled access ramp and platform with railings to front elevation – Deemed Consent 02/12/1997

P/95/691/OBC - Alterations to form bar, offices and covered way – Deemed Consent 22/08/1995

## **NEGOTIATIONS**

As highlighted the Application has been subject to pre-application discussions and public consultation events with the redevelopment proposals being widely advertised in the local community.

At the request and following discussions with the Council's Conservation Team the submission has also been revised and amended during the Application process.

## **PUBLICITY**

Neighbours have been notified of the receipt of the Application and the scheme has been the subject of site and press notices due to its location within a Conservation Area and its potential impact on the setting of a Listed Building.

The period allowed for response to consultations/publicity expired on 22 April 2024.

## **CONSULTATION RESPONSES**

**Porthcawl Town Council Observations** - No objection. It is commented that during construction works noise and parking disruption should be kept to a minimum to avoid adverse impacts on neighbours and the acoustics and appearance of the dome should be conserved.

**Conservation and Design Team** - No objections subject to conditions.

**The Theatres Trust** – No objection.

**Glamorgan Gwent Archaeological Trust** – No comments received at the time of writing this report.

**Amenity Societies** - No comments received at the time of writing this report. However, the Royal Commission on Ancient Historic Monuments in Wales (RCAHMW) and C20 Cymru have been involved with pre-application discussions in respect of the works.

## **REPRESENTATIONS RECEIVED**

The owners/occupiers of 39 Esplanade House and 30 Pavilion Court support the application.

The owner/occupier of 2 Pavilion Court (to the rear of the site) objects to the scheme, highlighting:

*“I am worried about noise, disturbance and mess/dust that will come from the building work being proposed and also the potential loss of light given the height and distance of the development works from my apartment windows... I do however think that work is*

*much needed to bring the building into the 21<sup>st</sup> Century.'*

The owner/occupier of 6 Pavilion Court also object to the scheme, stating:

*'I have made my worries know to the members of the architecture team that I am not opposing this development as it is exciting for the building and Porthcawl but grave concerns for my health and well-being while it is being done...please ensure measures are taken for my breathing (fresh air) (2) the fact that you are taking years to do this project has decreased my value (3) I am looking with my husband to be compensated for this.'*

### **COMMENTS ON REPRESENTATIONS RECEIVED**

The comments and concerns of the local residents have been duly acknowledged, however matters in respect of noise, general disturbance/disruption and loss of light have been more appropriately addressed in the full planning application that has been submitted for this development (P/23/511/FUL refers). Noise and loss of light matters are not considered material to the determination of this Listed Building application with the key consideration in the determination of this Application being the impact of the works on the character and appearance of this Listed Building.

### **RELEVANT PLANNING POLICY AND GUIDANCE**

- The Planning (Listed Building & Conservation Areas) Act 1990
- Historic Environment Act 2016
- Planning Policy Wales (Edition 12)
- Technical Advice Note 24 – The Historic Environment
- Conservation Principles for the Sustainable Management of the Historic Environment in Wales
- The Bridgend Local Development Plan 2018 - 2033 (LDP), notably Policy SP18: Conservation of the Historic Environment, which states: *Development proposals must protect, conserve, and, where appropriate preserve and enhance the significance of historic assets and their settings.*

### **Well-being of Future Generations (Wales) Act 2015**

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on public bodies to carry out sustainable development in accordance with sustainable development principles to act in a manner which seeks to ensure that the needs of the present are met without comprising the ability of future generations to meet their own needs (Section 5).

The well-being goals identified in the act are:

- A prosperous Wales
- A resilient Wales
- A healthier Wales
- A more equal Wales
- A Wales of cohesive communities
- A Wales of vibrant culture and thriving Welsh language
- A globally responsible Wales

The duty has been considered in the assessment of this Application. It is considered that there would be no significant or unacceptable impacts upon the achievement of well-being goals/objectives as a result of the proposed development.

### **The Socio Economic Duty**

The Socio Economic Duty (under Part 1, Section 1 of the Equality Act 2010), which came in to force on 31 March, 2021, has the overall aim of delivering better outcomes for those

who experience socio-economic disadvantage and, whilst this is not a strategic decision, the duty has been considered in the assessment of this application.

## **APPRAISAL**

In line with the Direction issued by Cadw, dated 1<sup>st</sup> February 2023, to Bridgend County Borough Council in respect of the removal of the requirement to notify Welsh Ministers of applications for Listed Building Consent for Grade II (unstarred) Listed Buildings, this application can effectively be determined, under the current scheme of delegation granted to the Senior Conservation and Design Officer of the Council.

For completeness and to support the Full Planning Application, P/23/511/BCB refers, which accompanies the Listed Building Application, the application is presented to Development Control Committee for consideration in the first instance.

Listed Building Consent is sought for a number of internal and external upgrade works, including refurbishment, demolition and the provision of additional extensions at the Grand Pavilion, Porthcawl. The works, as described in the accompanying full planning application seek to respectfully conserve and rejuvenate this iconic building whilst securing a sustainable future for the site, and also enhancing the viability and vitality of Porthcawl as a whole.

The proposal has been assessed against Policy SP18: Conservation of the Historic Environment of the LDP (2018 – 2033) which states: *Development proposals must protect, conserve, and, where appropriate preserve and enhance the significance of historic assets and their settings. In particular, there is a general presumption in favour of the preservation or enhancement of the significance of historic assets and their settings, including, Listed Buildings and Conservation Areas.* It is considered that, in principle, the proposed development is of a necessary, justified and welcome nature and is compatible with the aims of this policy. The internal and external works would aim to preserve and enhance the existing character and appearance of this important Listed Building.

The Application being considered effectively features the last iteration of a scheme that has been originally designed, subject to cost analysis and development and further redesign, to address concerns raised by the Council's Conservation and Design Team. The scheme has evolved, and the Council's Senior Conservation and Design Officer has carefully reviewed the proposals and fully assessed the revised, submitted scheme.

The comments of the Council's Conservation Officer are summarised and highlighted as follows:

*'The Grand Pavilion, Porthcawl, an early C20 structure, is included in the List of Buildings of Special Architectural or Historic interest, as set down by Cadw, The Welsh Governments' Historic Environment Agency. It is designated as a Grade II Listed structure. The date of scheduling was 17<sup>th</sup> February 1998. This is considered quite a late listing and as such, previous alterations and amendments to the building would not have required the benefit of listed building consent. The site also lies within the boundary of Porthcawl Conservation Area and is located on the seafront overlooking the lower positioned promenade and beach.'*

The building was constructed in 1931 and reflects the Art Deco period of architecture. Its importance as a listed structure is in recognition of a building constructed using Ferro Crete (Ferrous - concrete). The architect was E.J. Moore with engineer L. G. Mouchel.

Historically and socially, the construction of The Grand Pavilion, reflected the wealth generated by the large numbers of regional visitors to the seaside destination and the

industrial prominence that South Wales still retained prior to a downturn in industrial activity. Multiple buildings along Porthcawl sea front were built around the same period with a strong drive to provide convalescence for miners and develop the seaside resort following the cessation of shipping.

Architecturally, the building is prominent and striking in its appearance, it is one of symmetrical frontage, Art Deco styling and amplified with neo-Classical features such as Tuscan columns, Diocletian or Venetian windows, heavily indented voussoirs and a low, sweeping dome. It occupies a partially stone walled site and originally would have been viewed and accessed on all elevations. The structure maximised the existing site by utilising split levels. However, the front presenting elevation, reads as a single storey with a majestic dome that reveals little of the hexagonal structure that lies behind the columned elevation. It has become a readily identifiable landmark in Porthcawl. Since the building's inception, changes have been made to the building with some alterations being less sensitive than they could have been. However, the building has remained largely intact but now requires substantial repair and refurbishment.

Following consultation with Arwen Cultural Trust, briefing workshops and Public and stakeholder consultation, a brief to address the areas of concern was written to produce option appraisals (2019 and 2021). From this point, a broad statement addressing a future, sustainable use of Porthcawl Grand Pavilion was developed which viewed operational advantages and disadvantages prior to developing a spatial brief. This has been the springboard for a series of physical options which have been tested through workshops with BCBC Planning, Building Conservation and Cadw.

The submitted application, seeks to address the issues of concern, and further develop the Pavilions potential. This has been accompanied by a well-researched Heritage Impact Assessment. This study gives a clear picture of the building's historical evolution, identifies the heritage asset and its significance, demonstrated in both plan and written form, whilst recording the physical changes that have been undertaken. As a result of the former gathered evidence, it informs new design proposals and identifies repairs to the original historic fabric. The Application is also supported by extensive plans and elevational drawings, a detailed design and access statement and other supporting documentation (also submitted with the accompanying full planning application).

The highly-significant Art Deco elevations of the original, 1932 ferro-crete Grand Pavilion are to be retained, repaired and redecorated in accordance with original design intent. Existing doors, screens and windows within these historic elevations are to be replaced with new, historically appropriate profiles. The existing dome will receive an insulated metal over-roof in a ribbed configuration, retaining the hierarchy of the principal ribs that form the segmentation of the dome, with the original galleon weathervane refurbished and reinstated to its apex.

To the south, the proposed set-back rooftop pavilions are read above the Art Deco principal facade beneath. The pavilions are highly glazed, with a principal structural grid creating bays that reference the proportion of the Art Deco bays beneath. A structural glass and solid wall link, connects both extensions beneath the clocktower, with the roof profile dropping to sit below the eaves of the central dome, intended to retain its visual hierarchy and formal symmetry. A largely continuous roof overhang to the new extensions provides solar shading. Loggias that sit either end of the front elevation and previously gave access to the car park and rear areas would be glazed and form part of the newly created space both on the ground and first floor. A new ramp to the front entrance allows for access to all users. It should be noted that users requiring drop off by car would potentially use the controlled access car park to the side of the Pavilion. Access to a lift would facilitate arrival in the interior space if required. New glazing at ground floor and first



floor is essentially of a minimally framed glazing design.

Advertising is proposed in the form of digital boards that would sit along the frontage and would be evenly spaced out, echoing the essential character of symmetry, that underpins the original building. The exact size of the boards could be appropriately conditioned.

To the east, the new elevation is separated from the historic building by a glazed bay, with proposed pigmented pre-cast concrete bays provide shopfront style windows and solid walls with a bronze-coloured cladding. The cladding would be decorated in a motif or design that references the original building which would be subject to condition. The use of pre-cast coloured concrete is also subject to condition. At first floor, new metal louvered plant screens are required. The exact profile and form would also be subject to condition.

To the north, the redevelopment is directly overlooked by residents in an adjacent apartment block. To enhance the visual amenity, green roofs over these spaces are combined with photovoltaic panels. Bronze coloured cladding and white coloured concrete finishes with a decorative motif, now propose to reduce the amount of different coloured surfaces and patterns that would have generated an overly cluttered appearance to the rear elevation. It however noted that is almost impossible to view this elevation in its entirety from any given point. The use of materials throughout each elevation are continuous and will present the Pavilion in an expression that is in keeping with its original intent.

To the west and following the submission of amended plans, the western elevation now presents as a much less cluttered plain. The existing stained glass windows will be repaired and renovated. New glazing at all levels reference the existing frame of the original structure and present clean, simple glazed lines. The ground floor and basement levels will benefit hugely from the opening up of solid walls and increase exponentially the amount of natural light that enters the immediately adjacent spaces. Again the use of a simple coloured palette throughout the existing and proposed elevation, ensure the buildings return to its original architectural form.

It is however noted, some aspects of the works including the following are considered “like for like” repairs and do not effectively require Listed Building Consent:

- Existing clock tower to be repaired.
- Existing render to be repaired/refurbished.
- Existing stain glassed windows to be refurbished.
- Existing/original weathervane to be repaired.

Following a successful bid to the Levelling Up fund, positive feedback was received by Arwen Trust and additional information was submitted by the Applicant as part of the Pre-application consultation process (PAC). Amendments to the elevations to address concerns raised by residents is reflected in the submitted plans and feature a reworked scale of the proposed Studio Theatre, a stepped roofscape, extensive green roofscapes and a permanent exhibit of bronze panels to the rear of the elevation (north facing.)

A further expansive document has been prepared in support of this Application: *‘Porthcawl Grand Pavilion- Heritage Statement’* June 2022 (Heritage Statement June 2022). It gives further information on how the identified heritage asset will be retained and repaired, including:

- Exposing the oval lunettes to the dome which are currently boarded over

- Exposing the reinforced concrete balustrades to the eastern and western walkways either side of the auditorium as part of principal circulation
- Repairing and reinstating the original finial and 'galleon' weathervane at the apex of the domed roof
- Reinstating cast iron rainwater pipes and hoppers to match the surviving originals where these have been replaced with other materials
- Repairing the original timber framed stained glass clerestory windows to the auditorium
- Carrying out a program of sensitive but much-needed concrete repair and architectural conservation

The Heritage Statement June 2022 details specific architectural conservation and repair of the following areas: walls, roofs and external joinery, and are supported by a thorough architectural fabric condition survey undertaken by Purcell. Fully annotated drawings have been submitted and attached to the Listed Building and Full Planning Permission applications in the Appendices to the Heritage Statement. It is however important to recognise that the submitted repair schedule is in accordance with Cadw's *'Conservation Principles for the Sustainable Management of the Historic Environment in Wales'*. These are followed in order to achieve high-quality sensitive change, using the principles of good design.

The Application further addresses energy issues and how best to mitigate and reduce the need for non-renewable energy and ultimately reduce the running costs of the venue. Such actions help towards achieving a sustainable future. The submitted plans detail routes for the delivery and installation of all mechanical equipment and these are assessed for their impact on the original fabric. An intent to re-use existing routes and only use new routes where needed has been adopted and is supported.

Mann Williams have developed a structural strategy based on the principle of retaining as much of the building's existing concrete construction and minimising demolition, both safeguarding existing fabric and saving on the significant embodied carbon already within the existing building. As an overview, the strategy comprises piled raft foundations to the variable bedrock level beneath, with a primary steel frame entirely independent of the historic building. Diaphragm concrete - floors combined with the walls of the lift shaft and studio theatre provide stability structures against the site's high wind loading.

Concrete block walls to the studio theatre provide acoustic mass to prevent noise break-out, whilst presenting an opportunity to specify blocks with high recycled content and low embodied carbon. Areas of existing concrete structure which are inherently necessary for demolition are to be re-used, as far as possible, as recycled aggregate for external works.

Formant have been appointed, as specialist acousticians, to develop an acoustic brief, prepare a baseline noise survey and advise on the specific acoustic requirements for internal room acoustics, including upgrading the performance of the existing auditorium and advising on the new studio theatre, as well as considering noise break-out from areas with close proximity to residential accommodation.

The submitted Application is thoroughly well researched and supported by extensive annotated plans and relevant documents. The proposals are based on the findings of a detailed Heritage Impact Assessment and have informed an holistic strategy for the Porthcawl Grand Pavilion. The final submitted scheme addresses all potential impacts on the original historic fabric from new mechanical and electrical equipment, repair of failing concrete elements, removal of latterly applied additions and infills that detract from the building's original form.

By using Cadw's Conservation Principles, the Application proposes to utilise best practise in the historic built environment for all repairs and sensitive proposals. It also embraces new additions that are of their time and will present and enable the Pavilion to further use its resources and expand its usefulness to the community within which it is located.

The impact on adjoining neighbours has been recognised and the introduction of green roofs, decorative motifs and elements of landscaping to help to mitigate the loss of some views by improving the immediate overlooking aspect.

The level of engagement with users, community groups and elements of the Council and Cadw has been helpful and creates a sense of ownership to the proposal.

The Application is considered to enhance the original historic and architectural character of the building whilst introducing sensitive new additions, and incorporates a considered input to address areas of concern, such as the stone boundary wall and loss of views from adjacent residences.

The Application is considered to accord with both national and local planning policies and protects the original historic and architectural character of the Porthcawl Grand Pavilion. It is therefore, supported for approval subject to conditions (in respect of a building recording survey, structural reports in respect of demolition, submission of detailed finishing materials and landscaping details to include re-use of the demolished stone walls)'

The works are considered justified alterations that seek to preserve and enhance the general character and historic character of the Porthcawl Pavilion whilst at the same time provide a sustainable and viable future for this widely valued historic asset. On the basis of the comments from the Council's Senior Conservation Officer, and on the basis that the works are undertaken as described, it is considered there would be no detrimental impact on the architectural significance of the building or its historic, cultural or social importance, and the works are considered acceptable in this instance. Accordingly, it is considered that the proposals have had regard to national and local Planning Policies that seek to ensure that Listed Buildings are not damaged or adversely affected by development and overall, the proposed alteration works would both preserve and enhance the character of the building and its special historic and architectural interest in accordance with Policy SP18: Conservation of the Historic Environment of the LDP (2018 - 2033).

## **CONCLUSION**

The Application for Listed Building Consent is recommended for approval because the development complies with Government and Council Policy and does not adversely affect the special architectural character and historic interest of the Listed Building nor the amenities of the surrounding area.

## **RECOMMENDATION**

(R35) That subject to the final observations of the Council's Conservation and Design Team, Listed Building Consent be GRANTED subject to the following conditions:

1. The development shall be carried out in accordance with the following approved plans (as amended):

GPP-PUR-01-B1-DR-A-0130\_P5\_Planning - Demolition - Lower Ground Floor, received 26/02/2024

GPP-PUR-01-00-DR-A-0131\_P5\_Planning - Demolition - Ground Floor, received 26/02/2024

GPP-PUR-01-01-DR-A-0132\_P5\_Planning - Demolition - First Floor, received

26/02/2024

GPP-PUR-01-RF-DR-A-0133\_P4\_Planning - Demolition - Roof Plan, received

26/02/2024

GPP-PUR-01-ZZ-DR-A-0140\_P5\_Planning - Demolition - North Elevation, received

26/02/2024

GPP-PUR-01-ZZ-DR-A-0141\_P5\_Planning - Demolition - East Elevation, received

26/02/2024

GPP-PUR-01-ZZ-DR-A-0142\_P5\_Planning - Demolition - South Elevation, received

26/02/2024

GPP-PUR-01-ZZ-DR-A-0143\_P5\_Planning - Demolition - West Elevation, received

26/02/2024

GPP-PUR-01-B1-DR-A-0200\_P7\_Planning - Proposed - GA Lower Ground Floor, received 05/04/2024

GPP-PUR-01-00-DR-A-0201\_P7\_Planning - Proposed - GA Ground Floor, received 05/04/2024

GPP-PUR-01-01-DR-A-0202\_P7\_Planning - Proposed - GA First Floor, received 05/04/2024

GPP-PUR-01-RF-DR-A-0203\_P7\_Planning - Proposed - GA Roof Plan, received 05/04/2024

GPP-PUR-01-ZZ-DR-A-0210\_P6\_Planning - Proposed - North Elevation, received 05/04/2024

GPP-PUR-01-ZZ-DR-A-0211\_P6\_Planning - Proposed - East Elevation, received 05/04/2024

GPP-PUR-01-ZZ-DR-A-0212\_P6\_Planning - Proposed - South Elevation, received 05/04/2024

GPP-PUR-01-ZZ-DR-A-0213\_P6\_Planning - Proposed - West Elevation, received 05/04/2024

Reason: To avoid doubt and confusion as to the nature and extent of the approved development.

2. No work shall commence on site until the implementation of an appropriate programme of building recording and analysis (with photographs) has been submitted to and agreed in writing by the Local Planning Authority. The building recording shall be carried out by a specialist acceptable to the Local Planning Authority in accordance with the agreed details and a copy of which must be sent to the Royal Commission on the Ancient and Historical Monuments of Wales (RCAHMW) for inclusion in their records.

Reason: In the interests of archaeological recording and to maintain an accurate record of historic fabric and changes.

3. Before the commencement of works hereby permitted, details shall be submitted and approved by the Local Planning Authority showing the areas to be demolished and setting out the method of ensuring the safety and stability of the building fabric identified to be retained throughout the phases of demolition and reconstruction. Such details are to include structural engineering drawings and/or a method statement. The work shall be carried out fully in accordance with the drawings/ method statement approved.

Reason: To ensure adequate protection of existing and retained historic fabric.

4. Notwithstanding the requirements of condition 1, within 3 months from the date of consent unless an agreed extension is gained in writing with the Local Planning Authority, a detailed specification for (including drawings where necessary) and

samples where appropriate of the finishing materials for the development shall be submitted for the approval of the Local Planning Authority. Details are required of all new built elements including, windows, doors, roof coverings, new surface or facings details - including proposed decorative panels to side and rear elevations, rainwater goods, roof solar panels, door furniture, paint colour palettes, new fixtures, fittings, furniture, lighting, signage for the building and WC sanitary ware. Development shall be carried out in accordance with the agreed details.

Reason: In the interests of visual and residential amenities and the preservation of the architectural significance of the Grade II Listed Building and the character and appearance of the Porthcawl Conservation Area.

5. Within 3 months from the date of consent, unless an agreed extension is gained in writing with the Local Planning Authority, full details of the landscaping scheme that must utilise stone from the existing boundary walls that are to be demolished (and shall also include details of the green roofs), shall be submitted for the approval of the Local Planning Authority. Development shall proceed in accord with the agreed details and shall be retained and maintained thereafter.

Reason. To ensure the use of historic material on the same site and protect the setting of the Listed Building.

**JANINE NIGHTINGALE**  
**CORPORATE DIRECTOR COMMUNITIES**

**Background Papers**  
None